



**EDGEWATER PLANNING AND ZONING
MEETING**

**HELD AT 1800 N HARLAN ST,
EDGEWATER CO 80214**

JOIN VIRTUALLY THROUGH:

<https://meet.goto.com/740931333>

You can also dial in using your phone.

United States: +1 (646) 749-3122

Access Code: 740-931-333

June 10, 2026

6:00 PM

****Requests for ADA accommodations (including American Sign Language interpretation or CART) can be made by emailing cityclerk@edgewaterco.com****

Public Comment: The public is invited to be heard during the Public Comment portion of the meeting. During Public Comment you may address any topic or issue with the Commission. The Commission may not respond to your comments, opting to take your comments and suggestions under advisement. Your questions will be directed to the appropriate person or department for follow-up, if appropriate.

3 or more other City Board or Commission members may attend this meeting

- Item 1. WORK SESSION CALL TO ORDER**
- Item 2. Roll Call**
- Item 3. Pledge of Allegiance**
- Item 4. Public Comment**
- Item 5. General Business**
 - 1. Summary of Technical Focus Group Second Meeting
- Item 6. Commissioner Comments**
- Item 7. Discussion of upcoming Agendas; Staff and City Council Liaison Comments**
- Item 8. WORK SESSION ADJOURNMENT**

TO: Edgewater Planning and Zoning Commission
FROM: Travis Reynolds, AICP, Community Development Director
DATE: June 10th, 2026
RE: Technical Focus Group Update – June 8, 2026 Meeting Summary

Purpose

The purpose of this memorandum is to provide the Planning and Zoning Commission with a summary of the second meeting of the Zoning Code Update Technical Focus Group (TFG), held on June 8, 2026. The meeting focused on review and discussion of the proposed Residential Low Intensity (RLI), Residential Medium Low Intensity (RMLI), and Residential Medium High Intensity (RMHI) zoning districts and associated development standards. Topics included neighborhood compatibility, housing choice, residential intensification, building form controls, and implementation of the Edgewater 2040 Comprehensive Plan and recent state legislation.

Meeting Topics

The Technical Focus Group reviewed the rationale for the proposed residential zoning framework for districts and the relationship between the proposed zoning districts (RLI, RMLI, and RMHI) (Attachment A), the Edgewater 2040 Comprehensive Plan, and HB24-1313 Transit-Oriented Communities requirements.

Discussion focused on several key policy and technical topics, including:

- Proposed residential zoning district boundaries and mapping;
- Neighborhood compatibility and preservation of Edgewater's historic cottage-scale character;
- Front and rear lot development standards;
- Rear lot intensification concepts, including increased flexibility for ADUs and units above garages;
- Building height and massing controls, including the use of 1.5-story versus 2-story building forms;
- Bulk plane regulations;
- Maximum floor area standards intended to discourage large-scale one-for-one redevelopment;
- Expanded housing options such as duplexes, cottage clusters, and small-unit concepts;

- Opportunities to increase housing supply while maintaining neighborhood scale and character; and
- The relationship between housing diversity, ownership opportunities, affordability, and state legislative requirements.

Discussion Summary

The Technical Focus Group discussed the balance between accommodating additional housing opportunities and maintaining the neighborhood scale and character that participants and our policy documents identified as a defining feature of Edgewater.

Particular attention was given to the concept of rear lot intensification as a strategy to allow additional housing opportunities while preserving existing streetscapes and retaining existing homes. Participants discussed potential benefits and challenges associated with allowing taller accessory structures, ADUs above garages, and additional dwelling units in rear portions of larger lots.

The group also examined proposed building form controls, including front and rear yard zoning envelopes, maximum building heights, bulk plane requirements, and the distinction between 1.5-story and 2-story building forms. Discussion focused on whether these tools adequately regulate building mass and compatibility with existing neighborhoods.

The proposed use of maximum floor area limitations generated discussion regarding the role of floor area regulations in discouraging large replacement homes and encouraging smaller-scale housing products. Participants considered the relationship between floor area limits, lot coverage, height standards, and overall building mass.

Finally, the group reviewed concepts for expanding housing options within the RMLI and RMHI districts, including duplexes, multiple ADUs, cottage clusters, and other small-unit housing forms. Discussion included consideration of ownership opportunities, affordability, infrastructure, parking, neighborhood acceptance, and development feasibility.

Areas of Consensus

• 1.5-Story Height Limitation and Associated Half-Story Standards within the Front Portion of the Lot

Following presentation and discussion of the proposed 1.5-story building height limitation and the associated definition of a half-story, the group generally agreed that the concept is an appropriate tool for maintaining the scale and character of Edgewater's established residential neighborhoods. Participants noted that the proposed standard provides

additional flexibility for living space while helping to preserve the cottage-scale development pattern that characterizes much of the community. There was general support for continuing to explore the use of a 1.5-story standard within the front portion of residential lots as a means of balancing reinvestment opportunities with neighborhood compatibility.

- **Cottage Cluster Development in the RMLI and RMHI Districts**

The group generally supported continued exploration of cottage cluster development as a housing option within the proposed RMLI and RMHI districts. Participants noted that cottage clusters may provide opportunities to expand housing choice, ownership opportunities, and attainable housing options while maintaining a building scale that is generally compatible with existing neighborhoods. The group acknowledged that additional work will be necessary to address infrastructure requirements, parking management, subdivision and ownership structures, and long-term maintenance considerations; however, there was general agreement that cottage-scale development on individually owned fee-simple lots warrants further consideration.

Topics Requiring Additional Discussion or Refinement

- **Rear Lot Intensification and Second-Story ADUs**

Participants raised questions regarding the appropriateness of increasing allowable building height within the rear portion of residential lots, including the potential for second-story ADUs above garages and other accessory structures. Discussion focused on balancing opportunities for additional housing and property flexibility with concerns related to privacy, overlook conditions, building mass, and the visual relationship between rear-lot structures and principal buildings. The group expressed interest in exploring whether design standards, setbacks, orientation requirements, or other mitigation measures could adequately address these concerns.

- **Front Setbacks and Context-Sensitive Placement**

The group discussed whether a decreased fixed minimum front setback is the most appropriate method for regulating building placement within established neighborhoods. Several participants expressed concern that a uniform 15-foot setback could result in new construction that appears out of context with existing development patterns on certain blocks. As an alternative, the group suggested exploring a context-sensitive approach that calibrates setbacks based on the prevailing setback pattern of adjacent or nearby structures, thereby reinforcing established streetscape character while still reducing existing nonconformities.

- **Application of Maximum Floor Area and Lot Coverage Standards**

Questions were raised regarding whether proposed maximum floor area and lot coverage calculations would include accessory structures, including ADUs and detached garages. During discussion, differing interpretations emerged regarding the intended application of these standards. The group agreed that the draft regulations should clearly and explicitly identify how floor area and lot coverage are calculated and whether accessory structures are included in those calculations.

- **Preservation Bonus Incentives**

The group discussed the proposed preservation bonus, which in most cases would provide approximately 200 square feet of additional allowable floor area for projects that retain a majority of existing structures. Participants questioned whether the proposed incentive is substantial enough to meaningfully influence redevelopment decisions and encourage preservation over demolition and replacement. Additional analysis may be warranted to determine whether the bonus provides sufficient economic and design value to achieve the City's preservation objectives.

Next Steps

The next Technical Focus Group meeting is currently scheduled for **July 15, 2026**.

Anticipated topics include continued discussion of residential intensification strategies, additional mixed-use zoning districts (neighborhood scale and high-intensity scale), and refinement of development standards based on feedback received during the June 8th meeting.

Staff will continue to provide summary updates to the Planning and Zoning Commission following each Technical Focus Group meeting as the Zoning Code Update progresses. A summary update report is intended at the conclusion of the Technical Focus Group's meetings.

Attachment A - draft RLI, RMLI, RMHI districts

Attachment B – Definitions (for reference) (draft)

RESIDENTIAL LOW INTENSITY (RLI)

In this section lots within RLI zone district will be addressed in two groups: Lots with depths of 110 feet or more and lots with depths shallower than 110 feet. However, lot, building size, and lot coverage measures (provided on the right) as well as use and density measures (provided below) apply to all lots.

PERMITTED USES: Residential use, daycare, parks and open space

PERMITTED CONDITIONAL USES: public/government facility, educational use, public library, nonprofit museums, community and religious assembly, public utility

MAXIMUM NUMBER OF DWELLING UNITS: One primary dwelling unit and one ADU

LOT:

Minimum Lot Size: 6000 s.f.
 Minimum Street Frontage: 50 feet

BUILDING SIZE:

Maximum floor area: 2,600 s.f.

LOT COVERAGE:

40% maximum

PRESERVATION BONUS:

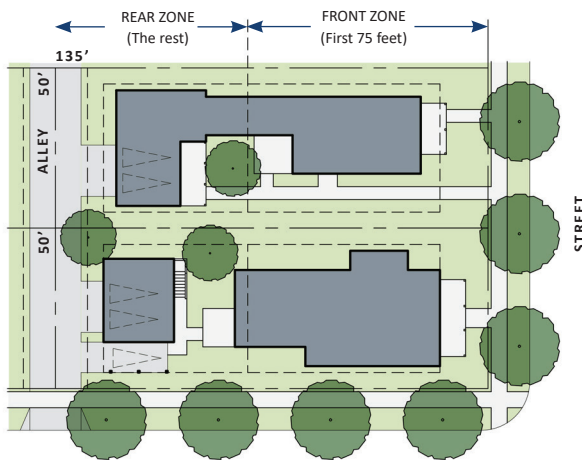
If a historically significant structure on the lot is mostly preserved (as defined in Sec.16-1-50) then the maximum floor area shall increase to 2,800 square feet.

OFF-STREET PARKING:

2 spaces per lot

Lots with depths of 110 feet or more

The zone that lies within 75 feet of the front property line along the street shall be called the "front zone" and the rest of the lot "rear zone." Different height and bulk plane regulations shall be applied to these zones.



HEIGHT AND BULK PLANE:

Front zone

Height: 1 1/2 stories / 28 feet max.
 Bulk plane: 12 feet

Rear zone

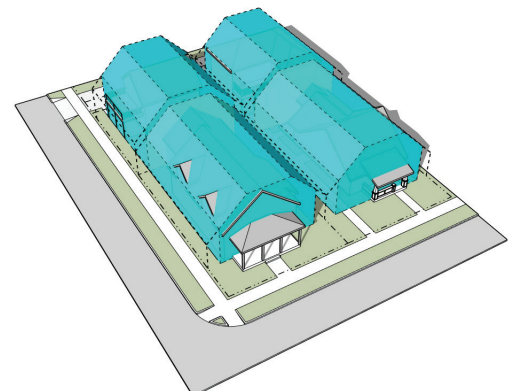
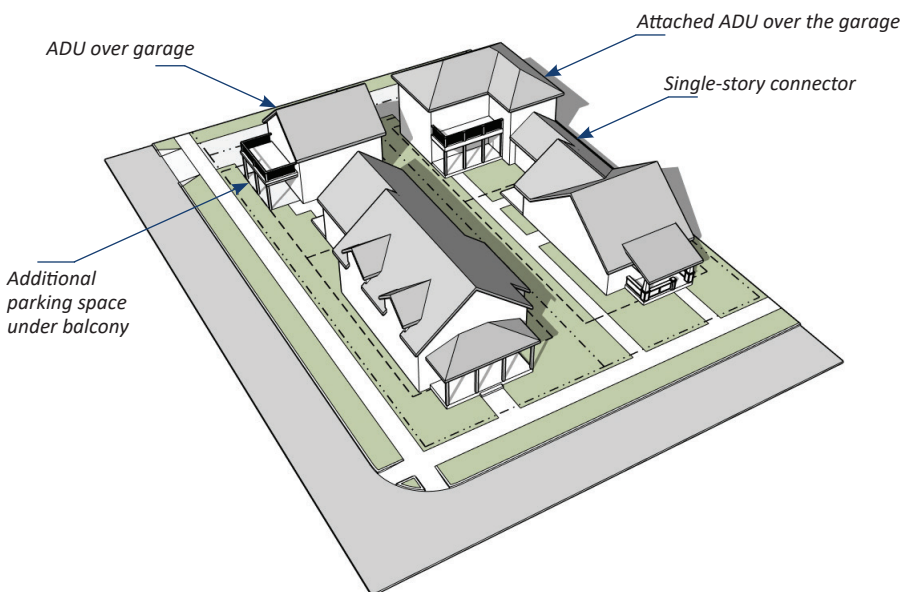
Height: 2 stories / 32 feet max.
 Bulk plane: 16 feet

SETBACKS:

Principal building at street: 15 feet min.
 Porch at street: 7 feet min.
 Principal bldg. at side street: 5 feet min.
 Porch at side street: 5 feet min.
 Side: 5 feet min.
 Rear when an alley is provided
 when alley is on easement: 20 feet min.
 when alley is public: 5 feet min.
 Rear when no alley is provided: 8 feet min.

PORCH:

Minimum size required within twenty feet of the front or side street property boundary: 120 s.f.



Lot diagram and bird-eye view perspective of development on two deep lots: a street corner and the neighboring interior lot. Depicted here is one desired outcome among many other possible desired outcomes. On the right, shown in transparent blue, is the building envelop defined by setback, height, and bulk plane restrictions.

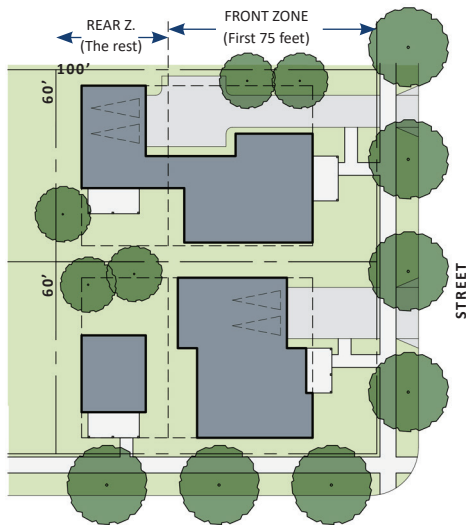
RESIDENTIAL LOW INTENSITY (RLI) (continues)

- LOT:**
 - Minimum Lot Size: 6000 s.f.
 - Minimum Street Frontage: 50 feet
- BUILDING SIZE:**
 - Maximum floor area: 2,600 s.f.
- LOT COVERAGE:** 40% maximum
- PRESERVATION BONUS:**

If a historically significant structure on the lot is mostly preserved (as defined in Sec.16-1-50) then the maximum floor area shall increase to 2,800 square feet.
- OFF-STREET PARKING:** 2 spaces per lot

Lots with depths of less than 110 feet

The zone that lies within 65 feet of the front property line along the street shall be called the "front zone" and the rest of the lot "rear zone." Different height and bulk plane regulations shall be applied to these zones.



HEIGHT AND BULK PLANE:

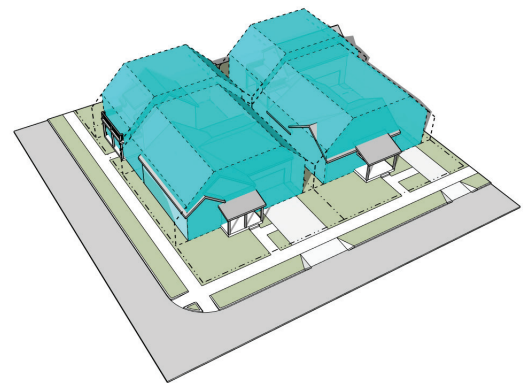
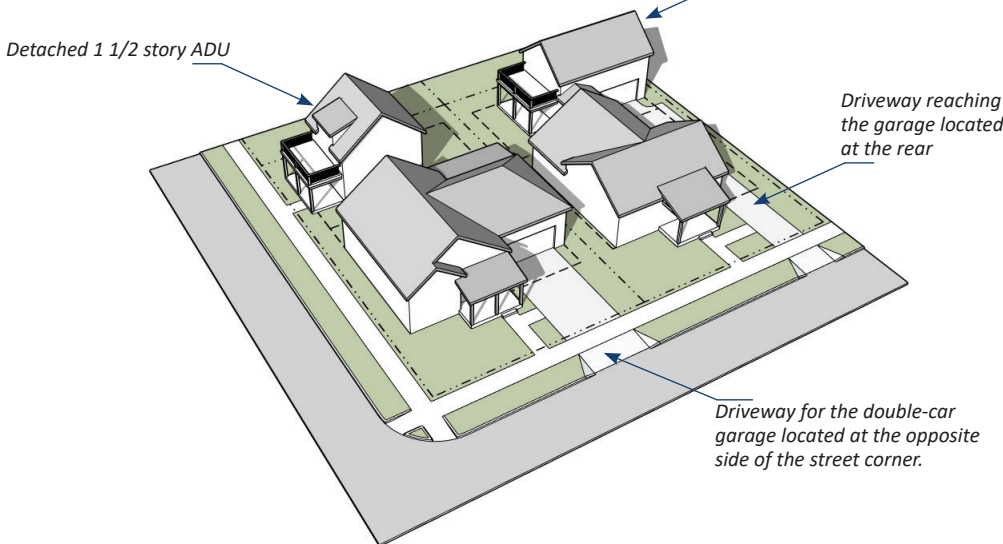
- Front zone**
 - Height: 1 1/2 stories / 28 feet max.
 - Bulk plane: 12 feet
- Rear zone**
 - Height: 2 stories / 32 feet max.
 - Bulk plane: 16 feet

SETBACKS:

- Principal building at street: 20 feet min.
- Porch at street: 12 feet min.
- Principal bldg. at side street: 5 feet min.
- Porch at side street: 5 feet min.
- Side: 5 feet min.
- Rear when an alley is provided
 - when alley is on easement: 20 feet min.
 - when alley is public: 5 feet min.
- Rear when no alley is provided: 8 feet min.

PORCH:

- Minimum size required within twenty feet of the front or side street property boundary: 120 s.f.



Lot diagram and bird-eye view perspective of development on two shallow lots: a street corner and the neighboring interior lot. Depicted here is one desired outcome among many other possible desired outcomes. On the right, shown in transparent blue, is the building envelop defined by setback, height, and bulk plane restrictions.

RESIDENTIAL MEDIUM LOW INTENSITY (RMLI)

In this section lots within RMLI zone district will be addressed. Development on lots within RMLI can take three major forms: (1) house (with ADUs if preferred), (2) duplex (with ADUs if preferred), and (3) cottage clusters. Below each of these forms are presented with the applicable regulations.

PERMITTED USES: Residential use, daycare, parks and open space

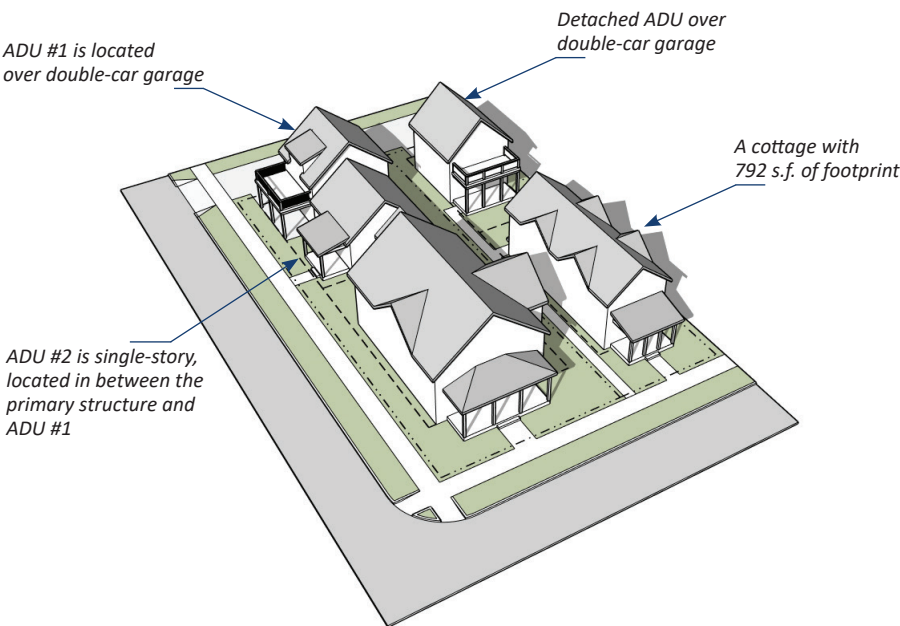
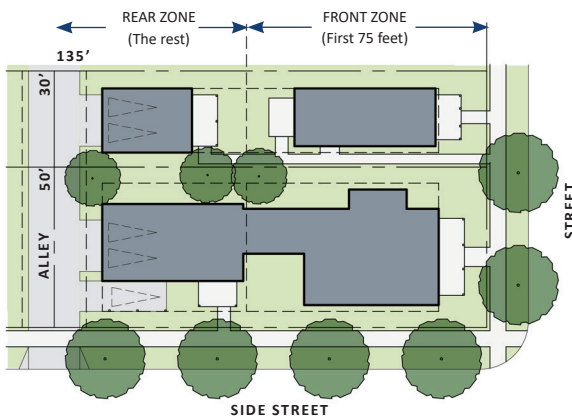
PERMITTED CONDITIONAL USES: public/government facility, educational use, public library, nonprofit museums, community and religious assembly, public utility

MAXIMUM NUMBER OF DWELLING UNITS:

Lots with areas smaller than 6000 s.f.: One primary dwelling unit and one ADU
 Lots with area of 6000 s.f. or larger: One primary dwelling unit and two ADUs
 Cluster lots: One dwelling unit per newly created cluster lot

House lots

The zone that lies within 75 feet of the front property line along the street shall be called the “front zone” and the rest of the lot “rear zone.” Different height and bulk plane regulations shall be applied to these zones.



Lot diagram and bird-eye view perspective of development on two house lots: a street corner (with 50 feet frontage) and the neighboring interior lot (with 30 feet frontage). Depicted here is one desired outcome among many other possible desired outcomes.

LOT:

Minimum Lot Size: 3000 s.f.
 Minimum Street Frontage: 30 feet

BUILDING SIZE:

Maximum floor area per lot: 2,800 s.f.

LOT COVERAGE:

45 % maximum

PRESERVATION BONUS:

If a historically significant structure on the lot is mostly preserved (as defined in Sec.16-1-50) then the maximum floor area shall increase to 3,000 square feet.

OFF-STREET PARKING:

2 spaces per lot

HEIGHT AND BULK PLANE:

Front zone

Height: 1 1/2 stories / 30 feet max.
 Bulk plane: 14 feet

Rear zone

Height: 2 stories / 34 feet max.
 Bulk plane: 18 feet

SETBACKS:

Principal building at street: 15 feet min.
 Porch at street: 7 feet min.
 Principal bldg. at side street: 5 feet min.
 Porch at side street: 5 feet min.
 Side: 5 feet min.
 Rear when an alley is provided
 when alley is on easement: 20 feet min.
 when alley is public: 5 feet min.
 Rear when no alley is provided: 8 feet min.

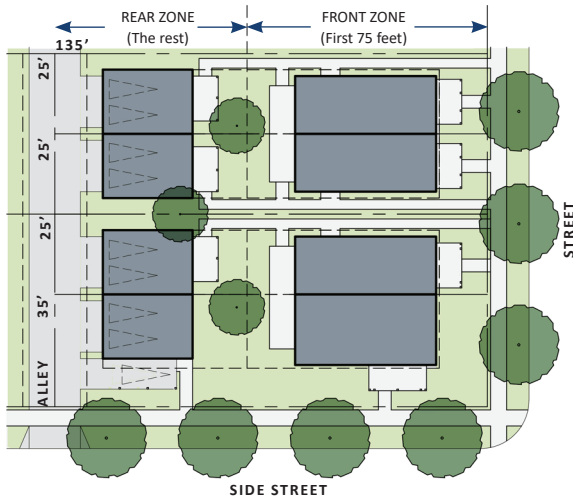
PORCH:

Minimum size required within twenty feet of the front or side street property boundary: 96 s.f.

RESIDENTIAL MEDIUM LOW INTENSITY (RMLI) (continues)

Duplex lots

The zone that lies within 75 feet of the front property line along the street shall be called the “front zone” and the rest of the lot “rear zone.” Different height and bulk plane regulations shall be applied to these zones.



LOT:
 Minimum Lot Size: 3000 s.f.
 Minimum Street Frontage: 25 feet

BUILDING SIZE:
 Maximum floor area per lot: 2,400 s.f.

LOT COVERAGE: 45 % maximum

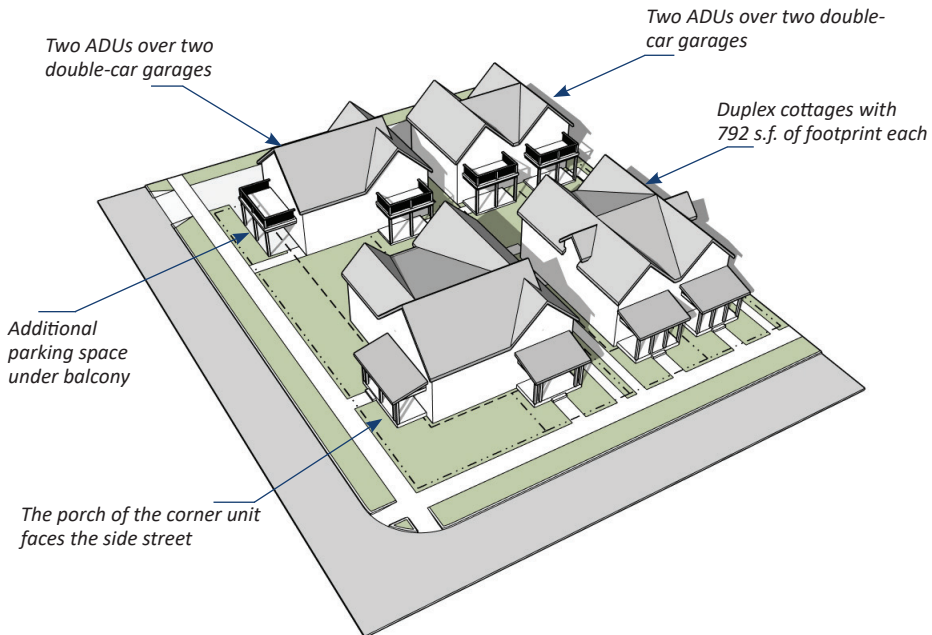
PRESERVATION BONUS:
 If a historically significant structure on the lot is mostly preserved (as defined in Sec.16-1-50) then the maximum floor area shall increase to 2,600 square feet.

OFF-STREET PARKING:
 2 spaces per lot min.

HEIGHT AND BULK PLANE:
Front zone
 Height: 1 1/2 stories / 30 feet max.
 Bulk plane: 14 feet
Rear zone
 Height: 2 stories / 34 feet max.
 Bulk plane: 18 feet

SETBACKS:
 Principal building at street: 15 feet min.
 Porch at street: 7 feet min.
 Principal bldg. at side street: 13 feet min.
 Porch at side street: 5 feet min.
 Side: no setback when attached or 5 feet min.
Rear when an alley is provided
 when alley is on easement: 20 feet min.
 when alley is public: 5 feet min.
Rear when no alley is provided: 8 feet min.

PORCH:
 Minimum size required within twenty feet of the front or side street property boundary: 96 s.f.

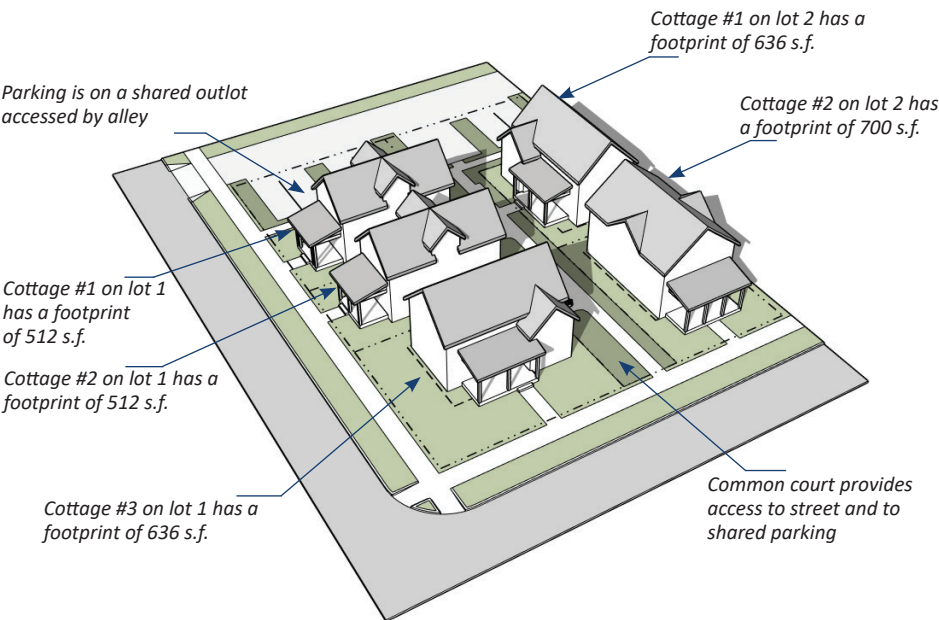
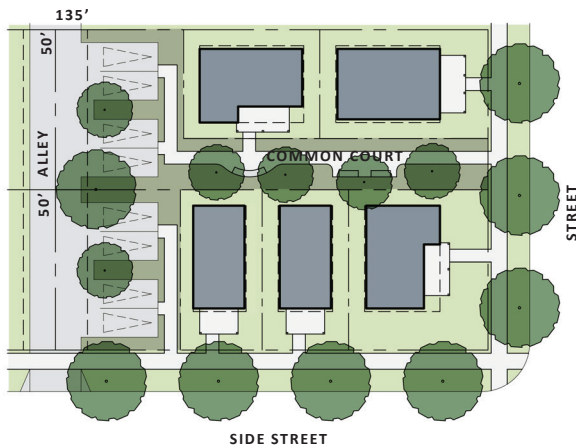


Lot diagram and bird-eye view perspective of development on four duplex lots: a street corner (with 35 feet frontage) and the neighboring three interior lots (with 25 feet frontage each). Depicted here is one desired outcome among many other possible desired outcomes.

RESIDENTIAL MEDIUM LOW INTENSITY (RMLI) (continues)

Cottage cluster

Cluster lots are mini-subdivisions accommodating multiple cottages. When subdivided lots do not have street frontage they need to have frontage along a “common court” as it is defined in Sec. 16-1-50. Clusters are permitted only on alley accessed lots; no curbcuts for individual lots are permitted.



Lot diagram and bird-eye view perspective of two cluster developments: a street corner lot (135 feet x 50 feet) is subdivided to three cottage lots and shared parking; and the neighboring interior lot (135 feet x 50 feet) is subdivided to two cottage lots, common court and shared parking. Depicted here is one desired outcome among many other possible desired outcomes.

LOT BEFORE SUBDIVISION:

Minimum lot size: 6000 s.f.
Minimum street frontage: 50 feet

LOT AFTER SUBDIVISION:

Minimum lot size: 1,200 s.f.
Minimum street or green court frontage: 20 feet

BUILDING SIZE:

Maximum floor area per newly created cluster lot: 1,400 s.f.

LOT COVERAGE: 45 % maximum

PRESERVATION BONUS:

If a historically significant structure in the cluster is mostly preserved (as defined in Sec.16-1-50) then the maximum floor area per newly created cluster lots shall increase to 1500 square feet. The floor area of the preserved building shall be exempt from the building size maximum.

OFF-STREET PARKING:

1 space min. per cottages with total floor area of 1000 s.f. or lower; 2 spaces min. for cottages with floor areas higher than 1000 s.f.

HEIGHT: 1 1/2 stories / 32 feet max.

SETBACKS:

Building at street:	15 feet min.
Porch at street:	7 feet min.
Building at side street:	13 feet min.
Porch at side street:	5 feet min.
Building at common court:	5 feet min.
Porch at common court:	2 feet min.
Side:	5 feet min.
Rear	
when alley is on easement:	20 feet min.
when alley is public:	5 feet min.

PORCH:

Minimum size required per cottage 96 s.f.

RESIDENTIAL MEDIUM HIGH INTENSITY (RMHI)

In this section lots within RMHI zone district will be addressed. Development on lots within RMHI can take three major forms: (1) house (with ADUs if preferred), (2) duplex (with ADUs if preferred), (3) cottage clusters, AND (4) clusters of detached and attached cottages. Below each of these forms are presented with the applicable regulations.

PERMITTED USES: Residential use, daycare, parks and open space

PERMITTED CONDITIONAL USES: public/government facility, educational use, public library, nonprofit museums, community and religious assembly, public utility

MAXIMUM NUMBER OF DWELLING UNITS:

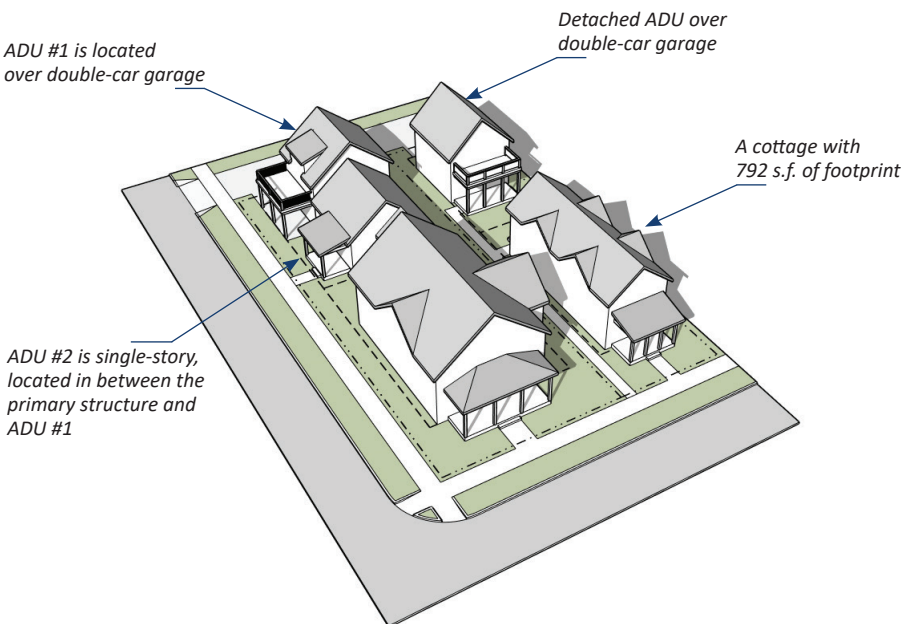
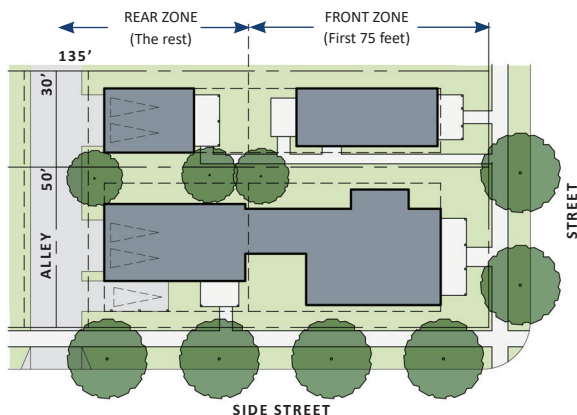
Lots with areas smaller than 6000 s.f.: One primary dwelling unit and one ADU

Lots with area of 6000 s.f. or larger: One primary dwelling unit and two ADUs

Cluster lots: One dwelling unit per newly created cluster lot

House lots

The zone that lies within 75 feet of the front property line along the street shall be called the “front zone” and the rest of the lot “rear zone.” Different height and bulk plane regulations shall be applied to these zones.



Lot diagram and bird-eye view perspective of development on two house lots: a street corner (with 50 feet frontage) and the neighboring interior lot (with 30 feet frontage). Depicted here is one desired outcome among many other possible desired outcomes.

LOT:

Minimum Lot Size: 3000 s.f.
Minimum Street Frontage: 30 feet

BUILDING SIZE:

Maximum floor area per lot: 2,800 s.f.

LOT COVERAGE: 45 % maximum

PRESERVATION BONUS:

If a historically significant structure on the lot is mostly preserved (as defined in Sec.16-1-50) then the maximum floor area shall increase to 3,000 square feet.

OFF-STREET PARKING: 2 spaces per lot

HEIGHT AND BULK PLANE:

Front zone
Height: 1 1/2 stories / 30 feet max.
Bulk plane: 14 feet
Rear zone
Height: 2 stories / 34 feet max.
Bulk plane: 18 feet

SETBACKS:

Principal building at street: 15 feet min.
Porch at street: 7 feet min.
Principal bldg. at side street: 5 feet min.
Porch at side street: 5 feet min.
Side: 5 feet min.
Rear when an alley is provided
when alley is on easement: 20 feet min.
when alley is public: 5 feet min.
Rear when no alley is provided: 8 feet min.

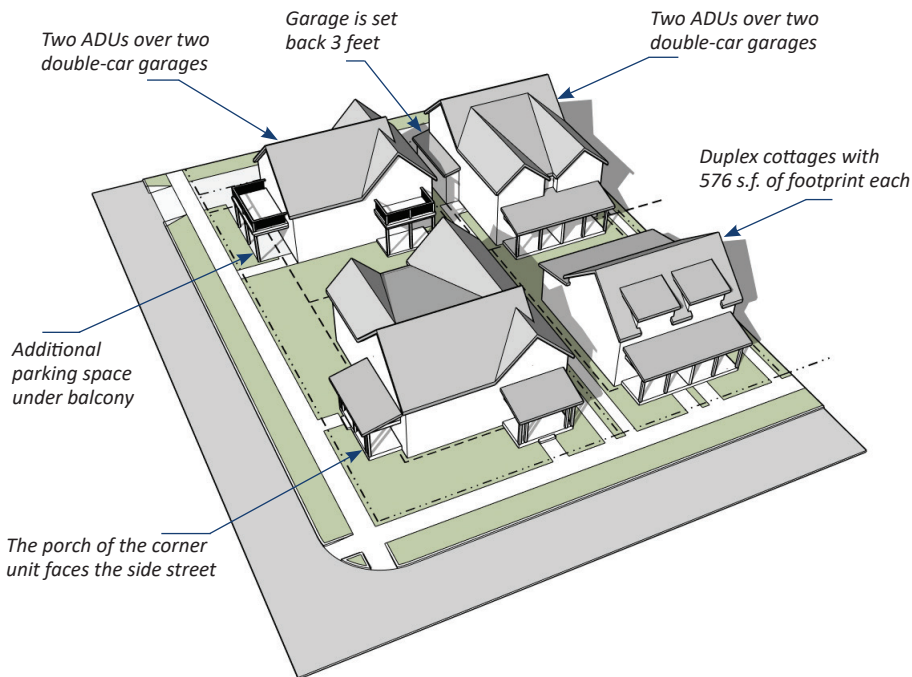
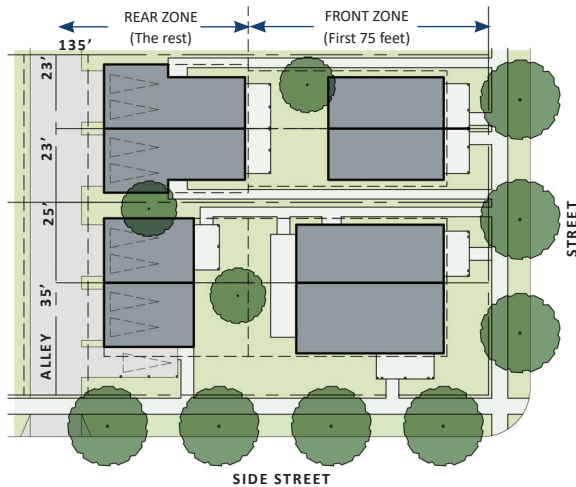
PORCH:

Minimum size required within twenty feet of the front or side street property boundary: 96 s.f.

RESIDENTIAL MEDIUM HIGH INTENSITY (RMHI) (continues)

Duplex lots

The zone that lies within 75 feet of the front property line along the street shall be called the “front zone” and the rest of the lot “rear zone.” Different height and bulk plane regulations shall be applied to these zones.



Lot diagram and bird-eye view perspective of development on four duplex lots: a street corner (with 35 feet frontage) and the neighboring three interior lots (with 25 feet frontage each). Depicted here is one desired outcome among many other possible desired outcomes.

LOT:

Minimum Lot Size: 2500 s.f.
 Minimum Street Frontage: 20 feet

BUILDING SIZE:

Maximum floor area per lot: 2,400 s.f.

LOT COVERAGE:

50 % maximum

PRESERVATION BONUS:

If a historically significant structure on the lot is mostly preserved (as defined in Sec.16-1-50) then the maximum floor area shall increase to 2,600 square feet.

OFF-STREET PARKING:

2 spaces per lot min.

HEIGHT AND BULK PLANE:

Front zone

Height: 1 1/2 stories / 30 feet max.
 Bulk plane: 14 feet

Rear zone

Height: 2 stories / 34 feet max.
 Bulk plane: 18 feet

SETBACKS:

Principal building at street: 13 feet min.
 Porch at street: 5 feet min.
 Principal bldg. at side street: 12 feet min.
 Porch at side street: 4 feet min.
 Side: no setback when attached or 5 feet min.

Rear when an alley is provided

when alley is on easement: 20 feet min.
 when alley is public: 5 feet min.

Rear when no alley

is provided: 8 feet min.

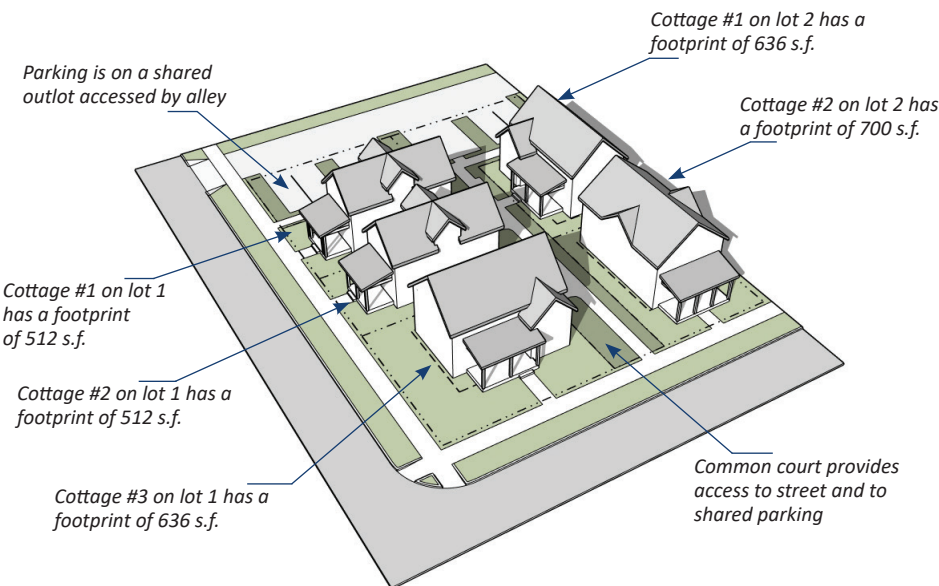
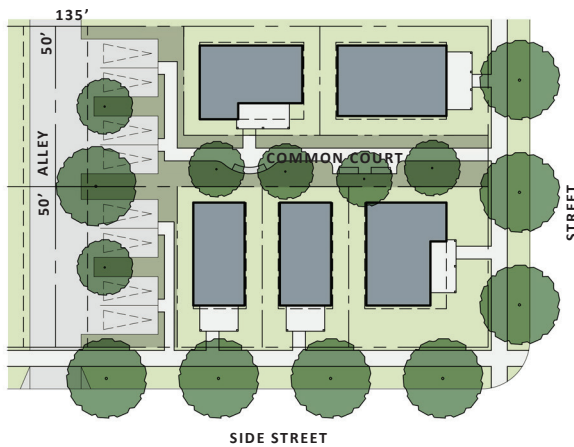
PORCH:

Minimum size required within twenty feet of the front or side street property boundary: 96 s.f.

RESIDENTIAL MEDIUM HIGH INTENSITY (RMHI) (continues)

Cottage cluster

Cluster lots are mini-subdivisions accommodating multiple cottages. When subdivided lots do not have street frontage they need to have frontage along a “common court” as it is defined in Sec. 16-1-50. Clusters are permitted only on alley accessed lots; no curbcuts for individual lots are permitted.



Lot diagram and bird-eye view perspective of two cluster developments: a street corner lot (135 feet x 50 feet) is subdivided to three cottage lots and shared parking; and the neighboring interior lot (135 feet x 50 feet) is subdivided to two cottage lots, common court and shared parking. Depicted here is one desired outcome among many other possible desired outcomes.

LOT BEFORE SUBDIVISION:

Minimum lot size: 6000 s.f.
 Minimum street frontage: 50 feet

LOT AFTER SUBDIVISION:

Minimum lot size: 1200 f.
 Minimum street or green court frontage: 20 feet

BUILDING SIZE:

Maximum floor area per newly created cluster lot: 1,400 s.f.

LOT COVERAGE: 50 % maximum

PRESERVATION BONUS:

If a historically significant structure in the cluster is mostly preserved (as defined in Sec.16-1-50) then the maximum floor area per newly created cluster lots shall increase to 1500 square feet. The floor area of the preserved building shall be exempt from the building size maximum.

OFF-STREET PARKING:

1 space min. per cottages with total floor area of 1000 s.f. or lower; 2 spaces min. for cottages with floor areas higher than 1000 s.f.

HEIGHT: 1 1/2 stories / 32 feet max.

SETBACKS:

Building at street: 15 feet min.
 Porch at street: 7 feet min.
 Building at side street: 12 feet min.
 Porch at side street: 4 feet min.
 Building at common court: 5 feet min.
 Porch at common court: 2 feet min.
 Side: 5 feet min.
 Rear when alley is on easement: 20 feet min.
 when alley is public: 5 feet min.

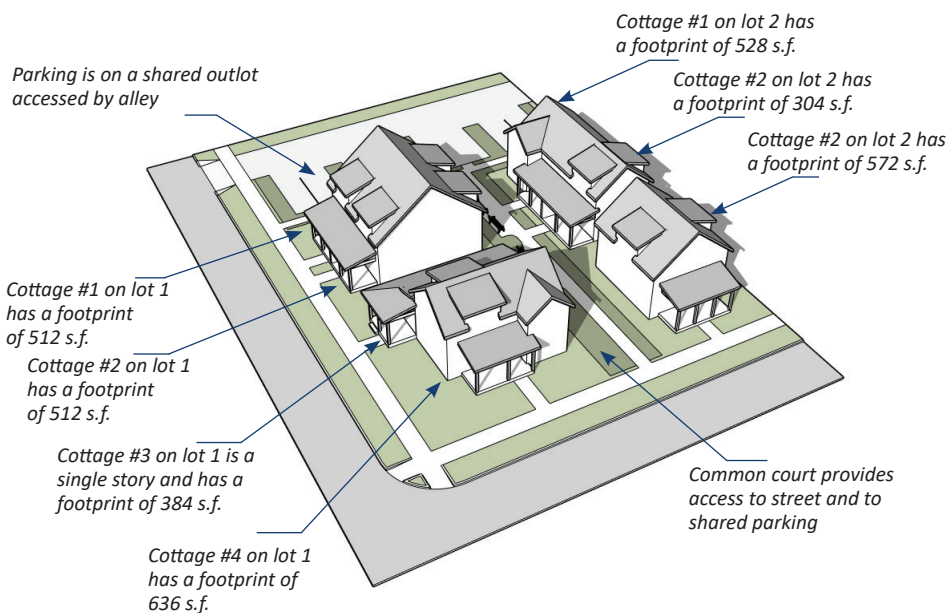
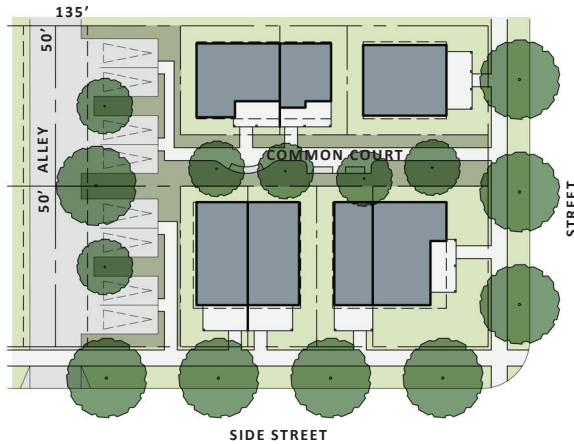
PORCH:

Minimum size required per cottage 96 s.f.

RESIDENTIAL MEDIUM HIGH INTENSITY (RMHI) (continues)

Cluster of attached and detached cottages

Clusters of attached and detached cottages permits attaching two cottages as duplex units. Cluster lots are mini-subdivisions accommodating multiple cottages. When subdivided lots do not have street frontage they need to have frontage along a “common court” as it is defined in Sec. 16-1-50. Clusters are permitted only on alley accessed lots; no curbcuts for individual lots are permitted.



Lot diagram and bird-eye view perspective of two cluster developments: a street corner lot (135 feet x 50 feet) is subdivided to four cottage duplex lots and shared parking; and the neighboring interior lot (135 feet x 50 feet) is subdivided to three cottage lots, two duplex, one detached, and a common court and shared parking. Depicted here is one desired outcome among many other possible desired outcomes.

LOT BEFORE SUBDIVISION:

Minimum lot size: 6000 s.f.
 Minimum street frontage: 50 feet

LOT AFTER SUBDIVISION:

Minimum lot size: 700 f.
 Minimum street or green court frontage: 18 feet

BUILDING SIZE:

Maximum floor area per newly created cluster lot: 1,400 s.f.

LOT COVERAGE: 50 % maximum

PRESERVATION BONUS:

If a historically significant structure in the cluster is mostly preserved (as defined in Sec.16-1-50) then the maximum floor area per newly created cluster lots shall increase to 1500 square feet. The floor area of the preserved building shall be exempt from the building size maximum.

OFF-STREET PARKING:

1 space min. per cottages with total floor area of 1000 s.f. or lower; 2 spaces min. for cottages with floor areas higher than 1000 s.f.

HEIGHT: 1 1/2 stories / 32 feet max.

SETBACKS:

Building at street: 15 feet min.
 Porch at street: 7 feet min.
 Building at side street: 12 feet min.
 Porch at side street: 4 feet min.
 Building at common court: 5 feet min.
 Porch at common court: 2 feet min.
 Side: no setback when attached or 5 feet min.

Rear

when alley is on easement: 20 feet min.
 when alley is public: 5 feet min.

PORCH:

Minimum size required per cottage 96 s.f.

ATTACHMENT B

Sec. 16-1-50. - Definitions.

modified

When not inconsistent with the content, words used in the present tense include the future; words in the singular number include the plural number; and words in the plural number include the singular number. For the purposes of this Chapter, certain terms and words are defined as follows:

Accessory dwelling unit (ADU) means an internal, attached, or detached dwelling unit that is accessory to one (1) otherwise detached dwelling unit and: (a) has a total floor area that does not exceed seven hundred and fifty (750) square feet; (b) does not equal or exceed the area of the associated primary dwelling unit; and (c) is located on the same lot as the proposed or existing primary dwelling unit. A detached ADU is an accessory building for purposes of this Chapter.

Accessory use means a use customarily incidental and subordinate to the principal structure, building or use of land and that is customarily located on the same lot as that of the principal structure, building or use.

~~*Alley* means a public thoroughfare which affords only a secondary means of access to abutting property.~~

Active or programmed recreation area means an area with a primary function of sport field but can also accommodate secondary functions including, but not limited to, nonorganized sporting events, cultural activities and organized social gatherings.

Application rate means the depth of water applied to a given area, usually expressed in inches per hour.

Automobile service station means a building and such accessory structures and uses as are necessary to supply fuel to motor vehicles and/or to provide maintenance or repair services for motor vehicles.

Balconette means an uncovered, cantilevered platform, bounded by a railing, projecting no greater than one (1) foot from the facade of the exterior wall from which it projects, the width of which may not exceed five (5) feet.

Bed and breakfast means any building containing five (5) or fewer guest rooms used, designed to be used, let or hired out for occupancy by persons on a temporary basis.

Berm means an earthen mound designed to provide visual interest on a site, screen undesirable views, reduce noise or provide buffering from adjoining properties

Boarding and rooming house means a building or portion thereof which is used to accommodate, for compensation, one (1) or more boarders or roomers, but not including members of a family, as defined herein, who might be occupying such building. Compensation includes compensation in money, services or other things of value.

Building means any permanent structure used or intended for supporting or sheltering any use or occupancy.

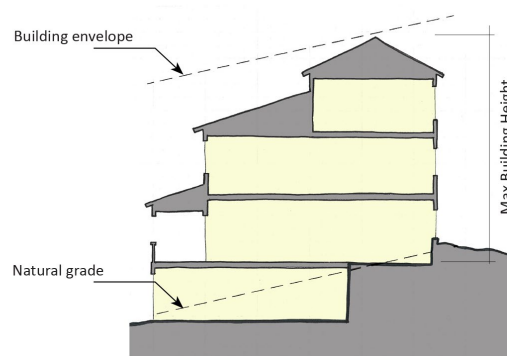
Building, accessory means a detached subordinate building, the use of which is customary, incidental and commonly associated with that of the main building or to the main use of the land and which is located on the same lot with the main building or use. Accessory buildings include, but are not limited to, detached garages, gazebos and storage sheds.

Building footprint is the total square footage located between and including the foundation walls of all structures on a lot, including garages. Covered porches, colonnades, carports, roof overhangs, stoops, exterior stairs, and balconies shall not be included in the building footprint calculation.

~~Building height means, for all principal structures and structures located wholly or partially within the front or rear yards, building height means the vertical distance measured from the level of the curb adjacent to the center point of the front lot line to the highest point of the roof surface; provided, however, that, if the grade of the lot exceeds a three percent (3%) change in elevation between the front and rear lot lines, then the building height means the vertical distance measured from an average of the existing grade between the front and rear lot lines to the highest point of the roof surface. For accessory structures located entirely within the rear yard, building height means the vertical distance measured from the center point of the rear property line to the highest point of the roof surface.~~

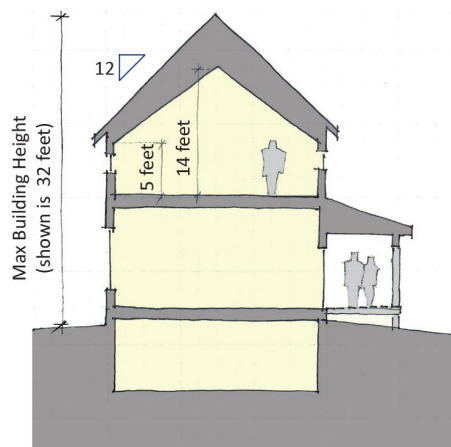
Building height shall be measured both in terms of the number of stories and the distance (in feet) from the natural grade, to the highest point in the building.

Building height as distance (in feet) shall be measured following the natural terrain within the building footprint. The allowed building envelope will be defined by projecting the terrain from the ground a distance equal to the maximum height allowed. When overlot grading is needed the altered grade shall be considered as the natural grade.



A diagrammatic cross-section through a building on a sloping site. The height is measured from the finished grade to the highest point of the building. In other words, the building envelope follows the terrain.

Building height as the number of stories: A story is defined as a floor-to-floor measurement not to exceed twelve (12) feet, except for non-residential stories, which shall not exceed sixteen (16) feet. Single story non-residential spaces are permitted to exceed the sixteen (16) feet limitation. Where vaulted ceilings are provided, the height measurement shall be taken at the midpoint of the main ceiling slope. If the main level is located more than two (4) feet above the average grade, measured at edges of the building footprint, the level below shall be considered a story.



Above is a cross-section through a one-and-a-half (1 1/2) story building. The floor to floor dimension of the ground floor is eleven (11) feet. The plate height of the upper story at the exterior is five (5) feet. Note also that the height of the building measured as distance is thirty two (32) feet.

A half-story is a story that has a minimum of forty percent (40%) of the plate height along the perimeter of the exterior walls at a height of six (5) feet or less. Dormers that are eight (12) feet or less in width and originate from a wall with a plate height that five (5) feet or less shall be considered as an exterior wall of five (5) feet or less.

The building floor area square footage shall be measured to the outside of the framing, not including the exterior cladding material, and shall include all floor areas with a height of 5' or greater regardless of use. Total building floor area shall not include garages, nor the basement square footage.

Building footprint is the total square footage located between and including the foundation walls of all structures on a lot, including garages. Covered porches, colonnades, carports, roof overhangs, stoops, exterior stairs, and balconies shall not be included in the building footprint calculation.

Building, nonconforming means a building, structure or portion thereof lawfully constructed prior to the effective date of the ordinance codified in this Chapter, or any amendment thereto, but which building, structure or portion thereof does not conform with the current regulations of this Chapter.

Building, principal means a building in which is conducted the main or principal use of the lot on which said building is situated.

Bulk plane means an imaginary line (plane) above which a structure may not extend. The bulk plane extends vertically from each property line and then inward to the center of the property at a forty-five-degree angle. See also [Section 16-3-130](#) of this Chapter.

NEEDS GRAPHICS

Certified/licensed landscape contractor. Colorado State law governs the sizes and types of projects that unlicensed individuals can design independent of City requirements. For those projects that are exempt from State licensure, one of the following certifications are required: Associated Landscape Contractors of Colorado Landscape Industry Certified Technician, Qualified Water Efficient Landscaper (QWEL) program, or another program labeled by U.S. Environmental Protection Agency's WaterSense program.

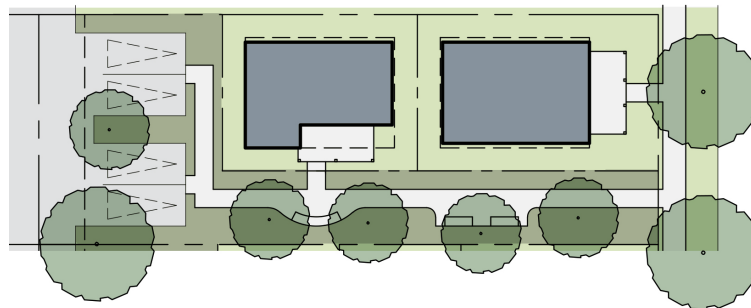
Check valve or anti-drain valve means a valve located under, or incorporated within, a sprinkler head or other location within the irrigation system, to hold water in the system so it minimizes drainage from the lower elevation sprinkler heads when the system is off.

City Manager means the chief administrative officer of the City, as further defined by Article IX of the City Home Rule Charter, or their designee.

Cool-season turf means any cool-season turf species, variety or blend, including, but not limited to, Kentucky bluegrass and fescue.

Cluster Is a mini-subdivision that permits creation of small cottage lots that do not have street frontage, but frontage to a “common court” (see the definition) that provides access to the street and the shared parking at the alley.

Common court is a shared amenity that provides access to street and the shared parking in a cluster development where some of the cottage lots don’t have street frontage. A common court shall have a public access easement and a minimum of sixteen (16) feet width along the frontage line of a lot in order that frontage to be counted as part of the frontage requirement



Above is a two cottage cluster with a common court (rendered in darker green) that provides access to street at shared parking at located along the alley at rear.

stated within zone district regulations. Typically, the common court is owned and managed by an HOA created by the fee simple lot owners of the cluster.

Curbside landscape means the landscaped area between a sidewalk and curb.

Custom food and beverage production and sales facility means and is limited to (1) breweries, wineries, cideries and distilleries in which not less than eighty percent (80%) of the beverages produced is sold on the site of the facility or delivered to a point of sale within the City of Edgewater; (2) bakeries and ice creameries in which not less than twenty percent (20%) of the baked goods or ice cream produced is sold on site of the facility or delivered to a point of sale within the City of Edgewater; and (3) a greenhouse or other plant-growing facility that does not exceed four thousand (4,000) square feet in total growing area and in which not less than fifty percent (50%) of all products produced at the facility (in terms of value of the products) is sold on the site of the facility or delivered to a point of sale within the City of Edgewater. Outdoor manufacturing activities are prohibited, excepting the outdoor cultivation of plants. This use

expressly excludes the manufacturing of marijuana and goods containing marijuana, which activity is subject to and governed by [Articles 30](#) and 32 of this Chapter.

Custom industry means the manufacturing of goods or products, for associated on-site retail sale and wholesale, through the use of domestic or commercial-grade machinery, tools, equipment and appliances, and that occupies no more than sixty percent (60%) of the total floor area of the premises. Outdoor manufacturing activities are prohibited, excepting the outdoor cultivation of plants, which renders the use subject to conditional use review notwithstanding any other provision of this Chapter to the contrary. This use expressly excludes the manufacturing of marijuana and goods containing marijuana, which activity is subject to and governed by [Articles 30](#) and 32 of this Chapter.

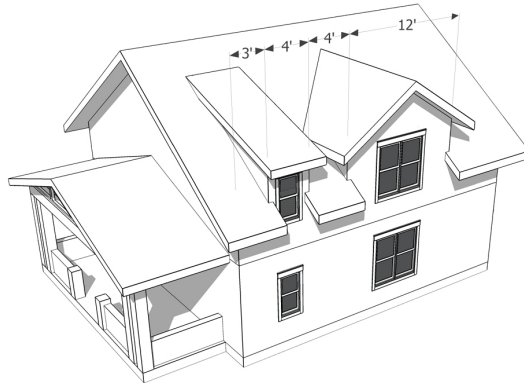
Daycare means a facility, by whatever name known, which is maintained for the whole or part of a day for the care of three (3) or more children under the age of sixteen (16) years and not related to the owner, operator or manager thereof, whether such facility is operated with or without compensation, and with or without stated educational purposes.

~~Deciduous tree means a plant or tree with foliage that is shed annually.~~

Deferred deposit lender establishment, also known as a cash advance or payday loan business, means a business or establishment that is subject to the Colorado Deferred Deposit Loan Act, Sections 5-3.1-101 to 5-3.1-123, C.R.S.

Distribution uniformity means the measure of the uniformity of irrigation water over a defined area.

A dormer is a building element containing windows that projects from a principal roof with a maximum width of twelve (12) feet, a minimum width of four (4) feet, a separation from a building corner of at least three (3) feet, and a separation from any adjacent dormer of at least four (4) feet. A dormer roof may be gable, hip, or shed (with a 3:12 slope minimum), but cannot be flat or reverse sloped.



A three feet wide shed dormer and a twelve feet wide gable dormer. Note that the space in between the dormers is four feet and the shed dormer is three feet away from the corner of the building.

~~*Dwelling* means any building or portion thereof which is used as the private residence or sleeping place of one (1) or more human beings, but not including hotels, motels, tourist courts, resort cabins, clubs, hospitals or similar uses.~~

Dwelling unit means any building or portion thereof which is occupied by residential use, with complete independent living, sleeping, and sanitation facilities, including one cooking (stove top and oven) facility. When more than one stove top and oven are employed, this shall be considered as more than one dwelling.

~~*Dwelling unit* means one (1) or more rooms in a dwelling designed for or occupied by one (1) family living and cooking on the premises.~~

~~*Easement* means the right to use lands owned by other parties for the purposes of maintenance, access, drainage, or other use, as specified in an agreement between parties.~~

Emission device means a component of the system that disperses water to the landscape and includes sprinklers, bubblers, emitters, microsprays, etc.

~~*Evergreen tree* means a tree with foliage that persists and remains green year-round.~~

Flow rate means the rate at which water flows through pipes and valves (gallons per minute or cubic feet per second).

~~*Grade (ground level)* means the average of the finished ground level at the center of any two (2) opposite outer walls of a building.~~

Groundcover means living plant material that grows low to the ground, usually under twelve-inches in height, often of a spreading nature.

Hardscapes means a landscape feature that is made of any durable material (pervious and non-pervious).

Hospital means any building or portion thereof used for the accommodation and medical care of sick, injured or infirm persons and including mental health facilities, but not including clinics, assisted living facilities and nursing homes.

Hotel and motel mean any building or portion thereof containing six (6) or more guest rooms used, designed to be used, let or hired out for occupancy by persons on a temporary basis.

Hydrozone means a portion of the landscaped area having plants with similar water needs that are served by a valve or set of valves with the same schedule. A hydrozone may be irrigated or non-irrigated. For example, a naturalized area planted with native vegetation that will not need supplemental irrigation once established is a non-irrigated hydrozone.

Irrigation design plan means the documents including the scaled drawing plan and any required forms showing calculations that are reviewed, approved and for which a permit could be issued.

Kennel means any lot or premises on which four (4) or more animals at least four (4) months of age are harbored.

Landscaped area means the entire parcel less the building footprint, driveways, non-irrigated portions of parking lots, hardscapes—such as decks and patios, and other non-porous areas. Water features are included in the calculation of the landscaped area. Areas dedicated to edible plants, such as orchards or vegetable gardens are not included.

Landscape buffer means a horizontal distance between adjacent uses or properties occupied by landscaping elements (excluding pools and spas), berms, swales, underground utilities, retention areas, screening, sight obscuring fences, walls, landscaped screening, or other features that individually or in combination reduce impacts on adjacent land areas or uses.

Landscape water meter means an inline device installed at the irrigation supply point that measures the volume of water into the irrigation system by using a flow totalizing device to record water use.

Lateral line means the water delivery pipeline that supplies water to the emitters or sprinklers from the valve.

Lot means a parcel of land or portion of land separated from other parcels or portions by legal description and abutting one (1) or more public streets, roads, parks, recreation fields, or common courts.

Lot area means the total number of horizontal square feet contained within the boundaries of the lot lines of a lot.

~~*Lot, corner* means a lot, of which at least two (2) adjacent sides abut a public right of way other than an alley along their entire length, and on which another side abuts either another property or another public right of way and is considered the rear lot line.~~

~~Lot coverage is determined by dividing that area of a lot which is occupied or covered by the total horizontal projected surface of all buildings, including covered porches and accessory buildings, all covered decks, patios, parking areas and drives, or covered portions thereof, by the gross area of that lot.~~

***Lot coverage* is the ratio of the building footprint to the lot area (please see the definition of “building footprint”).**

Lot, flag means a lot having access to a street by means of a portion of the lot that has a depth greater than its frontage and a width less than the minimum required lot width.

Lot, interior means a lot, other than a corner lot, abutting only one (1) street, **park, recreation fields, or a common court** and generally having two (2) sides abutting adjacent properties, and a rear lot line.

~~Lot line means an imaginary line separating a parcel or portion of land from another by legal description.~~

~~Lot line, front means the property line dividing a lot from a street. On a corner lot, only one (1) street line shall be considered as a front line and the shorter street frontage shall be considered the front line.~~

~~Lot line, rear means the line opposite the front lot line.~~

~~Lot line, side means any lines other than front lot lines or rear lot lines.~~

~~Lot, reversed corner means a corner lot having its side street line substantially a continuation of the front lot line of the first lot to its rear.~~

~~Lot, through means an interior lot abutting a street on both the front and rear lot lines and a corner lot abutting a street on the front, one (1) side and rear lot lines.~~

***Lot width* for rectangular lots shall be measured parallel to the frontage. Lot width for lots with irregular shapes shall be measured at the front or rear setback lines, whichever is smaller.**

Low flow irrigation means the application of irrigation water at low pressure through a system of tubing or lateral lines and emitters such as point source emitters, dripper lines, microsprays

and bubblers. Low flow irrigation systems apply small volumes of water slowly at or near the root zone of plants.

Main line means the pressurized pipeline that delivers water from the water source to the valve or outlet.

Manufactured housing structure, manufactured home or manufactured housing unit means single-family detached housing that is partially or entirely manufactured in a factory and is installed on an engineered permanent foundation, and shall, for the purposes of this Article, incorporate structures known as manufactured homes without further restrictions, as contained in Section 31-23-301(5), C.R.S.

Master shut-off valve means an automatic valve installed at the irrigation supply point which controls water flow into the irrigation system. When this valve is closed water will not be supplied to the irrigation system.

Median means the landscaped area between opposing directions street traffic lanes.

Microclimate means the climate of a small, specific area that may contrast with the climate of the overall landscape area due to factors such as wind, sun exposure, plant density, or proximity to reflective surfaces. (why do we need this?)

Mobile home means manufactured housing built on a chassis which is designed to be installed on a temporary foundation, attached to the ground with tie-down straps and attached to natural or propane gas distribution piping, electrical distribution wiring and plumbing waste sewer lines on a mobile home pad specifically designed with such attachment points. A mobile home shall be construed to remain a mobile home, subject to all regulations applying thereto, whether or not wheels, axels, hitches or other appurtenances of mobility are removed and regardless of the nature of the foundation provided.

Mulch means any organic material such as leaves, bark, straw, compost or inorganic mineral materials such as rocks, gravel, or decomposed granite left loose and applied to the soil surface for the beneficial purposes of reducing evaporation, suppressing weeds, moderating soil temperature, and preventing soil erosion.

Mostly preserved structure: A structure is mostly preserved when (a) 75% (seventy-five percent) or more of the exterior facade, measured as the surface area, is preserved, (b) 75% (seventy-five percent) or more of the roof, measured as the surface area, is preserved and (c) the preserved section is approved as appropriate following the criteria of visibility by public. "Mostly preserved structure" status is granted by the Director of Planning for buildings that are 50 (fifty) years old or older.

Native area means an area of plant materials that are indigenous to Edgewater. Such area may or may not include permanent irrigation, depending on the use.

Naturalized landscape means A non-native plant that does not need human help to reproduce and maintain itself over time in an area where it was not native.

Nonconforming use means a use of land or a building which use was lawful prior to the effective date of the ordinance codified in this Chapter, or any amendment thereto, but which does not conform with the current regulations of this Chapter.

Occupied includes arranged, designed, built, altered, converted, rented, leased or intended to be occupied. (?)

Operating pressure means the pressure at which the parts of an irrigation system are designed by the manufacturer to operate.

Overspray means the water that is delivered beyond the target area.

Permeable means any surface or material that allows the passage of water through the material and into the underlying soil.

Person includes individuals, associations, firms, copartnerships and corporations. (?)

A porch is an outdoor, covered, but unwallled space attached to a building providing transition to the interior space from the sidewalk. Unless stated otherwise zone district regulations, a porch is a one story element, with or without an open terrace on the second floor, and at least fifty percent (50%) open on each side, except for sides abutting the building.

Public right-of-way means the area of real property in which the city has a dedicated or acquired right-of-way interest in the real property.

Rain sensor or rain sensing shutoff device means a component which automatically suspends an irrigation event when it rains.

Remote control valve means a device used to control the flow of water in the irrigation system.

Residential use means the occupation of a dwelling unit for the purpose of long-term habitation by means of ownership or rental.

Runoff means water which is not absorbed by the soil or landscape to which it is applied and flows from the area. For example, runoff may result from water that is applied at too great a rate (application rate exceeds infiltration rate), run times are set too long or a valve is stuck open, when there is a severe slope, etc.

Screening means a vertical barrier, including opaque fences/walls, sight obscuring fences, or landscaped screening, situated between adjacent uses or properties, or maintenance, trash, storage or loading areas, constructed or planted to reduce impacts on adjacent land areas or uses.

~~*Setback* means the distance extending across the full width of the lot between the property line and the nearest line or point of a building.~~ **Setbacks** shall be applied as listed in zone district regulations following these general provisions:

1. All setbacks shall be measured from the property line to the outside of the building framing. Sheathing, drywall, siding, masonry and insulation materials are permitted to encroach into the setbacks up to six (8) inches.
2. Eaves, rakes, chimneys, scuppers, light fixtures, and similar appurtenances on the building face, are permitted to encroach into the setbacks up to twenty-four (24) inches.
3. Window-wells with retaining walls that do not stick out more than twelve (12) inches from the adjacent grade are permitted to encroach to setbacks up to four (4) feet.
4. When setbacks for various structures (e.g. garage) and building elements (e.g. porch) are not listed separately, the setback shall be applied to all structures on the lot.

The above setback requirements do not indicate fire separation distances.

Sexually oriented business shall have the meaning provided in [Section 6-9-20](#) of this Code.

Sign, animated means any sign which is designed to give a message through a sequence of progressive changes of parts or lights or degree of lighting or that changes physical position by any movement or rotation.

Sign, ground means any sign supported by or directly attached to the ground. Pole or pedestal type signs are ground signs.

Sign, projecting means any sign attached to a building or structure wall and extending horizontally outward from such wall more than twelve (12) inches.

Sign, roof means any sign erected upon the roof of any building.

Sign, wall means any sign painted or otherwise depicted directly upon a wall or affixed to a wall and not projecting more than twelve (12) inches from such wall. Any sign visible through a window or affixed to a window is a wall sign.

Slope means a vertical rise measured over a horizontal distance, expressed as a percentage, measured generally at right angles to contour lines.

Smart irrigation controller means an automatic timing device with nonvolatile memory used to remotely control valves that operate an irrigation system. Smart irrigation controllers are able to self-adjust and schedule irrigation events using either evapotranspiration (weather-based), soil moisture data or flow data or a combination of methods.

Soil amendment means organic material added to the soil to improve texture, moisture holding capacity, nutrient capacity, water and air infiltration.

Soil moisture sensor means a device that measures the amount of water in the soil. The device may also suspend or initiate an irrigation event. Sprinkler head means a device that sprays water through a nozzle.

Static water pressure means the pipeline or municipal water supply pressure when water is not flowing.

~~Street means any public or private thoroughfare which affords the principal means of access to abutting property, and including such terms as public right of way, highway, road and avenue.~~

Streetscape means pedestrian and landscape improvements parallel to the roadway, which include at minimum the required width sidewalk, and the minimum required planting strip for trees, shrubs, and irrigation. The streetscape is typically located within the ROW but may be located on adjacent private property as appropriate.

Structure means any thing constructed or erected which requires location on the ground or attached to something having a location on the ground, but not including fences or walls used as fences six (6) feet or less in height, poles, lines, cables or other transmission or distribution facilities of public utilities. (?)

Turf or turfgrass means a surface layer of earth containing mowed grass with its roots. Annual bluegrass, Kentucky bluegrass, Perennial ryegrass, fescue, and Tall fescue are cool-season grasses. Bermudagrass, Blue Grama, and Buffalo grass are warm-season grasses.

~~Use means the purpose for which land or building is designed, arranged or intended, or for which either is or may be occupied or maintained.~~

~~Valve means a device used to control the flow of water in the irrigation system.~~

Water feature means a design element where open water performs an aesthetic or recreational function. Water features include ponds, lakes, waterfalls, fountains, streams, spas, and swimming pools where water is artificially supplied. This includes water features supplied by raw water.

Water waste means the application of water to impervious surfaces, over irrigation resulting in runoff or pooling, and non-beneficial use of water.

Water-wise plants means shrubs, perennials and warm-season grasses with an annual irrigation water requirement of less than fifteen (15) inches (9.345 gallons) per square foot.

Workshops and custom small industry means the small-scale manufacturing of goods or products, for associated on-site retail sale and wholesale, through the use of hands, hand-tools, non-mechanized equipment and devices or domestic-grade machinery and appliances, and that occupies no more than forty percent (40%) of the total floor area of the premises. Outdoor manufacturing activities are prohibited, excepting the outdoor cultivation of plants, which renders the use subject to conditional use review notwithstanding any other provision of this Chapter to the contrary. This use expressly excludes the manufacturing of marijuana and goods containing marijuana, which activity is subject to and governed by [Articles 30](#) and 32 of this Chapter.

~~Yard means that portion of the area on a lot extending open and unobstructed, except for items allowed under [Section 16-22-40](#) of this Chapter, from the ground upward from a lot line for a depth or width specified by the provisions for the district in which the lot is located.~~

~~Yard, front means a yard extending across the full width of the lot between the front lot line and the nearest line or point of the principal building or structure.~~

~~Yard, rear means a yard extending across the full width of the lot between the rear lot line and the nearest line or point of the principal building or structure.~~

~~Yard, side means a yard extending from the front yard to the rear yard between the side lot line and the nearest line or point of the building or accessory building attached thereto.~~

Zone means, typically, an area served by a single control valve, sometimes referred to as a "station." Zones are comprised of plant materials and soil types with similar water requirements.

Zoning Administrator means the individual appointed to such position by the City Manager or the individual or entity designated to fulfill the duties of such position pursuant to a written services agreement approved by the City Council.

(Prior code 23-5; Ord. 10-06 §2, 2006; Ord. 10-07 §4, 2007; Ord. 12-08 §1, 2008; Ord. 05-10 §1, 2010; Ord. 07-13 §1, 2013; Ord. 09-14 §2, 2014; [Ord. 2016-04 §1, 2016](#); [Ord. 2017-05 §§1, 2, 2017](#); [Ord. 2018-07 §1, 2018](#); Ord. [2019-05](#) §1, 2019; Ord. [2019-07](#) §1, 2019; [Ord. No. 2023-12](#), §2, 11-14-2023; [Ord. 2025-02](#) §§1, 6, 2025; Ord. [2025-16](#) §1, 2025)